

November 19, 2008

Re: Heritage Neighborhood  
Wake Forest, NC 27587

Dear Mr. and Mrs.:

At your request, and in your presence, a visual inspection of the above referenced property was conducted on November 18, 2008. This inspection report reflects the visual conditions of the property at the time of the inspection only. Hidden or concealed defects cannot be included in this report. No warranty is either expressed or implied. This report is not an insurance policy, nor a warranty service.

An earnest effort was made on your behalf to discover all visible defects, however, in the event of an oversight, maximum liability must be limited to the fee paid. The following is an opinion report, expressed as a result of the inspection. Please take time to review limitations contained in the inspection agreement.

#### **REPORT SUMMARY**

**This summary is not the entire report. The complete report may contain additional information of concern to the client. It is recommended that the client read the complete report.**

Overall, the home was constructed in a workmanlike manner, consistent with the local building trades and codes in effect at the time of construction, and has average maintenance over the years. However in accordance with prevailing local real estate purchase agreements, the following items should be addressed:

#### **WALLS AND TRIM:**

1. The exterior surfaces were observed while walking around the exterior of the home. The siding was found to be in adequate condition except as noted below:

Front Elevation: Gap/ void under soffit adjacent to garage roof- potential for wind driven rain entry. Recommend flashing area as needed. Re-painting needed at non treated rake board trim adjacent to garage roof to prevent rotting. Gaps/ void at stone left of metal roof at garage bay window- seal area as needed to prevent water entry. Right side of bay window at garage: metal lathe and wall building paper exposed. Area is missing cementitious coating and stone. Add coating and stone to area as intended and to protect from wind driven rain entry.

Right Elevation: Loosing trim at rear of covered porch by downspout. Recommend securing and caulking areas as needed to prevent water entry.

Back Elevation: Rotted trim at left bottom of deck door. Repair areas as needed.

This list is only to be meant as a general guideline to help pinpoint areas repair. It is not meant to be every area of damage. A qualified repair contractor should survey the entire structure and repair/replace as needed.

#### BASEMENT/CRAWL SPACE:

2. Numerous tears in plastic covering the floor, tears in plastic by sewer exit, loose taping at seams noted at floor. Standard building practices when installing a conditioned crawl space is for the floor to be completely sealed and taped at the seams. Recommend consulting with licensed general contractor regarding condition of plastic and seams and what corrective measures are needed.

Missing insulation around band joist at front right corner of crawl space and front left elevation side of crawl space. Add insulation as needed and intended.

Missing cover on electrical junction box- add cover for safety.

Leak at plumbing supply fitting under master bathroom sink area. See photo. Recommend consulting with licensed plumber regarding leak and corrective measures.

3. Girders: dry rotting observed at girder front right elevation near parallel plumbing pipes. When probed, screw driver was inserted into the outer joist. See photo. Recommend consulting with licensed general contractor regarding cause and condition of girder and repair as needed.

#### ATTIC AND INSULATION:

4. Scuttle access front bedroom: door does not latch. Secure as needed to prevent loss of conditioned air.

Walk in access right elevation by bonus: loose/ missing insulation noted at walls behind shower and above air return- secure insulation as needed. Blocked or missing baffles noted at batt insulation at rafters- see photo. Add or unblock baffles as needed.

Attic access left elevation at bonus area: Blocked/ or missing baffles noted. Add or unblock baffles as needed. Damaged roof decking noted at valley. Hole observed. Roof decking is not supported at end. Recommend repairing roof decking and adding support for attachment.

#### ROOF:

5. Raised shingles and exposed roof decking left side of front porch. Delaminated roof decking observed. Evidence of exposure to wind driven rain. Repair roof decking and shingles to prevent

water entry. Raised flashing behind gutter and raised shingle front left corner of garage roof- see photo for location. Secure flashing and shingle to prevent water entry. Re-caulking needed at cut and fold area of shingles at rear gable against main part of house- see photo. Potential for water entry. A licensed roofing contractor should be called to make further evaluation and repairs as needed.

#### EXPOSED FLASHINGS:

6. The potential for water entry is present. Gap at flashing at rear of roof right of covered porch above family room area ( see photo). A licensed roofing contractor should be called to make further evaluation and repairs as needed.

#### GUTTERS & DOWNSPOUTS:

7. Disconnected downspout at rear right elevation. Secure downspout as needed to function as intended. Gutters are full of debris in areas. Gutters should be kept clean to dispose of water properly, in order to function as intended.

#### HEATING SYSTEM CONDITION:

8. Attic: Left elevation side. Clean out noted at trap. Cover missing at clean out. A clean out located before the trap can disrupt the negative pressure necessary for proper flow of condensate. Recommend adding cover as needed. Note: inspector placed insulation in clean out for temporary fix at time of inspection.

Mold/ fungus noted around plenum at top of unit. Evidence suggest air leak and condensation forming around top of unit. Have licensed HVAC mechanical contractor evaluate the entire heating system and repair as needed.

9. Attic: Right elevation side. Caulking needed around hot and cold suction lines at side of unit to prevent loss of conditioned air. Recommend consulting with licensed HVAC mechanical contractor for corrective measures.

#### ELECTRICAL PANELS:

10. ARC fault breakers appear to be missing for two bedrooms. ARC faults are observed for master, bedroom 2 and bedroom 4. 5 bedrooms are located in the home. Standard building practices are for all bedrooms to be ARC fault protected. Have a licensed electrician make further evaluation and corrections as needed.

#### DOORS:

11. Rear covered deck door: does not latch. Repair as needed. Master deck door and door to garage: light gaps under door at threshold. Sweep does not make full contact with threshold. Loss of conditioned air noted. Repair areas as needed.

12. Doors rub/stick/won't latch: front bedroom closet door and master closet door do not latch. Bonus room door binds. Repair doors as needed to function as intended.

#### CEILINGS:

13. Stains noted in master bedroom by bath vent fan. Unable to determine if active leakage exists. Make inquiry with the seller as to the history of leaks. Recommend investigating areas further and repair as needed.

#### FLOORS:

14. Loose subfloor observed in areas throughout home. Evidence suggest floor is not glued down or nailed per standard building practices. Unable to fully inspect due to floor covering. Recommend licensed general contractor investigate and secure subfloor to joist as intended.

#### KITCHEN SINK:

15. Loose fittings under left and right sides of sink. Loose fittings can cause leaks to occur. See photo's. A licensed plumber should be called to make further evaluation and repairs as needed.

#### LAUNDRY:

16. Improper clearance noted at vent hood at exterior. Standard building practices are to have a minimum of 12" clearance from grade under a laundry vent hood for fire safety. Further evaluation and repairs will be needed by a licensed HVAC mechanical contractor. Laundry sink is provided, Functioning as intended.

#### MASTER BATHROOM AREA:

17. Leaks noted around shower glass enclosure at back of seat area. See photo. Repair as needed to prevent water from exiting the shower.

#### HALL BATHROOM UPSTAIRS AREA:

18. Loose fittings noted under right sink. Loose fittings can cause leaks to occur. A licensed plumber should be called to make further evaluation and repairs as needed.

Each of these items will likely require further evaluation and repair by licensed tradespeople. Obtain competitive estimates for these items. Other minor items are also noted in the following report and should receive eventual attention, but none of them affect the habitability of the house and their correction is typically considered the responsibility of the purchaser. The majority are the result of normal wear and tear.

Thank you for selecting our firm to do your pre-purchase home inspection. If you have any questions regarding the inspection report or the home, please feel free to call us.

Sincerely,

A handwritten signature in black ink that reads "Scott Fuller". The signature is written in a cursive, slightly slanted style.

SCOTT FULLER  
Chief Inspector  
NCHILB Lic # 1972  
919-524-5987  
enclosure

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# INSPECTION CONDITIONS

## CLIENT & SITE INFORMATION:

**DATE OF INSPECTION:** November 18, 2008.  
**TIME OF INSPECTION:** 1:00 P.M.  
**CLIENT PHONE #:**  
**CLIENT FAX #:**  
**INSPECTION SITE:** Heritage Neighborhood.  
**INSPECTION SITE CITY/STATE/ZIP:** Wake Forest, NC 27587.

## CLIMATIC CONDITIONS:

**WEATHER:** Snow, Overcast.  
**SOIL CONDITIONS:** Wet.  
**APPROXIMATE OUTSIDE TEMPERATURE in F:** 30-40.

## BUILDING CHARACTERISTICS:

**ESTIMATED AGE OF HOUSE:** 1 Year.  
**BUILDING TYPE:** 1 family.  
**STORIES:** 2  
**SPACE BELOW GRADE:** Crawl space.

## UTILITY SERVICES:

**WATER SOURCE:** Public.  
**SEWAGE DISPOSAL:** Public.  
**UTILITIES STATUS:** All utilities on.

## OTHER INFORMATION:

**HOUSE OCCUPIED?** Yes.  
**CLIENT PRESENT:** Yes.  
**PEOPLE PRESENT:** Homeowner.

## Scott Fuller Home Inspection Services

**COMMENTS:** Sprinkler and Security system are beyond the scope of the home inspection and were not inspected.

## PAYMENT INFORMATION:

**PAID BY:**

### REPORT LIMITATIONS

This report is intended only as a general guide to help the client make his own evaluation of the overall condition of the home, and is not intended to reflect the value of the premises, nor make any representation as to the advisability of purchase. The report expresses the personal opinions of the inspector, based upon his visual impressions of the conditions that existed at the time of the inspection only. The inspection and report are not intended to be technically exhaustive, or to imply that every component was inspected, or that every possible defect was discovered. No disassembly of equipment, opening of walls, moving of furniture, appliances or stored items, or excavation was performed. All components and conditions which by the nature of their location are concealed, camouflaged or difficult to inspect are excluded from the report.

Systems and conditions which are not within the scope of the building inspection include, but are not limited to: formaldehyde, lead paint, asbestos, toxic or flammable materials, and other environmental hazards; pest infestation, playground equipment, efficiency measurement of insulation or heating and cooling equipment, internal or underground drainage or plumbing, any systems which are shut down or otherwise secured; water wells (water quality and quantity) zoning ordinances; intercoms; security systems; heat sensors; cosmetics or building code conformity. Any general comments about these systems and conditions are informational only and do not represent an inspection.

The inspection report should not be construed as a compliance inspection of any governmental or non governmental codes or regulations. The report is not intended to be a warranty or guarantee of the present or future adequacy or performance of the structure, its systems, or their component parts. This report does not constitute any express or implied warranty of merchantability or fitness for use regarding the condition of the property and it should not be relied upon as such. Any opinions expressed regarding adequacy, capacity, or expected life of components are general estimates based on information about similar components and occasional wide variations are to be expected between such estimates and actual experience.

We certify that our inspectors have no interest, present or contemplated, in this property or its improvement and no involvement with tradespeople or benefits derived from any sales or improvements. To the best of our knowledge and belief, all statements and information in this report are true and correct.

Should any disagreement or dispute arise as a result of this inspection or report, it shall be decided by arbitration and shall be submitted for binding, non-appealable arbitration to the American Arbitration Association in accordance with its Construction Industry Arbitration Rules then obtaining, unless the parties mutually agree otherwise. In the event of a claim, the Client will allow the Inspection Company to inspect the claim prior to any repairs or waive the right to make the claim. Client agrees not to disturb or repair or have repaired anything which may constitute evidence relating to the complaint, except in the case of an emergency.



# EXTERIOR - FOUNDATION - BASEMENT

Areas hidden from view by finished walls or stored items can not be judged and are not a part of this inspection. Minor cracks are typical in many foundations and most do not represent a structural problem. If major cracks are present along with bowing, we routinely recommend further evaluation be made by a qualified structural engineer. All exterior grades should allow for surface and roof water to flow away from the foundation. All concrete floor slabs experience some degree of cracking due to shrinkage in the drying process. In most instances floor coverings prevent recognition of cracks or settlement in all but the most severe cases. Where carpeting and other floor coverings are installed, the materials and condition of the flooring underneath cannot be determined.

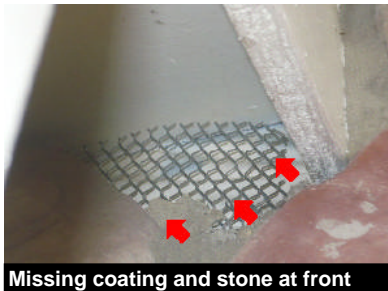
## WALLS AND TRIM:

**MATERIAL:**

Stone, Fiber Cement Siding.

**CONDITION:**

The exterior surfaces were observed while walking around the exterior of the home. The siding was found to be in adequate condition except as noted below: Front Elevation: Gap/void under soffit adjacent to garage roof-potential for wind driven rain entry. Recommend flashing area as needed. Re-painting needed at non treated rake board trim adjacent to garage roof to prevent rotting. Gaps/ void at stone left of metal roof at garage bay window- seal area as needed to prevent water entry. Right side of bay window at garage: metal lathe and wall building paper exposed. Area is missing cementitious coating and stone. Add coating and stone to area as intended and to protect from wind driven rain entry. Right Elevation: Loosing trim at rear of covered porch by downspout. Recommend securing and caulking areas as needed to prevent water entry. Back Elevation: Rotted trim at left bottom of deck door. Repair areas as needed. This list is only to be meant as a general guideline to help pinpoint areas repair. It is not meant to be every area of damage. A qualified repair contractor should survey the entire structure and repair/replace as needed.





## FOUNDATION VENTS:

None.

## FIREPLACE AND CHIMNEY:

**MATERIAL:** pre-fabricated fireplace, metal flue, Gas Logs.

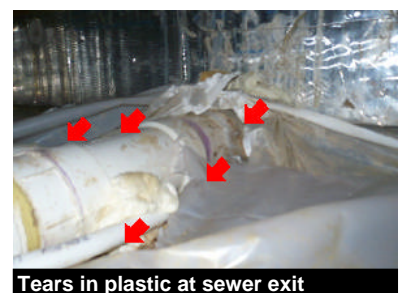
**CONDITION:** Functioning as intended.

## BASEMENT/CRAWL SPACE:

**ACCESSIBILITY:** Crawl space is a sealed, conditioned crawl space with plastic covering the floor and piers and insulation covering the foundation walls. Crawl space is heated or cooled by a damper located on a distribution box adjacent to duct work. Crawl space viewing is limited- Viewing was restricted by wall coverings (insulation on walls for sealed space conditions). Limited access at front right corner of crawl space due to low clearance. The crawl space was entered through the provided access door. The crawl space was observed using a standard flashlight and a screw driver was used to probe areas. The crawl space viewing was restricted or limited by framing members, insulation, and duct work.

### CRAWL SPACE CONDITION:

Numerous tears in plastic covering the floor, tears in plastic by sewer exit, loose taping at seams noted at floor. Standard building practices when installing a conditioned crawl space is for the floor to be completely sealed and taped at the seams. Recommend consulting with licensed general contractor regarding condition of plastic and seams and what corrective measures are needed. Missing insulation around band joist at front right corner of crawl space and front left elevation side of crawl space. Add insulation as needed and intended. Missing cover on electrical junction box- add cover for safety. Leak at plumbing supply fitting under master bathroom sink area. See photo. Recommend consulting with licensed plumber regarding leak and corrective measures.





Leak at plumbing supply fitting



Missing insulation at band noted

**CRAWLSPACE  
WALLS - TYPE:**

Concrete block.

**CONDITION:**

Unable to fully view due to insulation covering areas. Areas that were observable: Functioning as intended.

**BEAMS:**

Wood, dry rotting observed at girder front right elevation near parallel plumbing pipes. When probed, screw driver was inserted into the outer joist. See photo. Recommend consulting with licensed general contractor regarding cause and condition of girder and repair as needed. All other beams: Functioning as intended.



Dry rotting at girder

**FLOOR JOISTS:**

Wood, Functioning as intended.

**COLUMNS/  
SUPPORTS:**

Block, Functioning as intended. Note: limited viewing at base of piers due to plastic covering.

# ROOF SYSTEM

The foregoing is an opinion of the general quality and condition of the roofing material. The inspector cannot and does not offer an opinion or warranty as to whether the roof leaks or may be subject to future leakage. This report is issued in consideration of the foregoing disclaimer. The only way to determine whether a roof is absolutely water tight is to observe it during a prolonged rainfall. Many times, this situation is not present during the inspection.

## ATTIC AND INSULATION:

### ACCESSIBILITY AND CONDITION:

Conventional framing, Accessible at scuttle entrance at front bedroom. Accessible at walk in left and right elevations at bonus area. Accessible at walk in at rear closet in bonus. Accessible at rear left elevation in hall way. Viewing was limited, to walk boards, Personal items blocked some view. The attic was inspected using a standard flashlight. Viewing was limited or restricted by framing members, duct work, insulation, and plumbing or mechanical systems. Scuttle access front bedroom: door does not latch. Secure as needed to prevent loss of conditioned air. Walk in access right elevation by bonus: loose/ missing insulation noted at walls behind shower and above air return- secure insulation as needed. Blocked or missing baffles noted at batt insulation at rafters- see photo. Add or unblock baffles as needed. Attic access left elevation at bonus area: Blocked/ or missing baffles noted. Add or unblock baffles as needed. Damaged roof decking noted at valley. Hole observed. Roof decking is not supported at end. Recommend repairing roof decking and adding support for attachment. All other attic access areas: Functioning as intended.





**INSULATION  
TYPE AND  
CONDITION:**

Attic, Fiberglass batts, Fallen insulation noted. Crawl , insulation installed around band joist around perimeter. Fallen/ missing insulation noted. See crawl above. Floor joist: None installed between the floor system due to finished/ conditioned crawl space. Note: some insulation in attic does not have paper backing with identifiable markings of R value. Unable to fully determine R value in some areas.

**ROOF:**

**STYLE:**

Gable.

**TYPE:**

Asphalt Composition Shingles.

**ROOF ACCESS:**

Walked on roof, Viewed from ground with binoculars, Viewed from window, Viewed from roof edge on ladder.

**ROOF COVERING  
STATUS:**

Raised shingles and exposed roof decking left side of front porch. Delaminated roof decking observed. Evidence of exposure to wind driven rain. Repair roof decking and shingles to prevent water entry. Raised flashing behind gutter and raised shingle front left corner of garage roof- see photo for location. Secure flashing and shingle to prevent water entry. Re-caulking needed at cut and fold area of shingles at rear gable against main part of house- see photo. Potential for water entry. A licensed roofing contractor should be called to make further evaluation and repairs as needed.

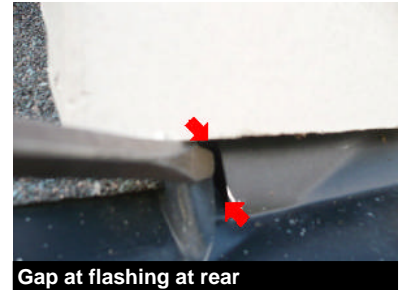




### EXPOSED FLASHINGS:

**TYPE AND  
CONDITION:**

Metal, The potential for water entry is present. Gap at flashing at rear of roof right of covered porch above family room area ( see photo). A licensed roofing contractor should be called to make further evaluation and repairs as needed.



### GUTTERS & DOWNSPOUTS:

**TYPE:  
CONDITION:**

Aluminum Gutters are present around the roof perimeter. Disconnected downspout at rear right elevation. Secure downspout as needed to function as intended. Gutters are full of debris in areas. Gutters should be kept clean to dispose of water properly, in order to function as intended.

# PLUMBING

Water quality or hazardous materials (lead) testing is available from local testing labs. All underground piping related to water supply, waste, or sprinkler use are excluded from this inspection. Leakage or corrosion in underground piping cannot be detected by a visual inspection. The temperature pressure relief valve, at the upper portion of the water heater, is a required safety valve which should be connected to a drain line of proper size terminating just above floor elevation. If no drain is located in the floor a catch pan should be installed with a drain extending to a safe location. The steam caused by a blow-off can cause scalding. Improper installations should be corrected.

## MAIN LINE:

**MATERIAL:** Plastic.  
**CONDITION:** Functioning as intended.  
**WATER SHUT OFF LOCATION:** Main water shut off not located inside of home, normally in hall closets or pantry's, could have not been seen due to personal items blocking view. Verify location from owner prior to closing.

## SUPPLY LINES:

**MATERIAL:** Readily visible piping is plastic with metal fittings.  
**CONDITION:** Functioning as intended.

## WASTE LINES:

**MATERIAL:** PVC white plastic.  
**CONDITION:** Functioning as intended.

## HOSE FAUCETS:

**OPERATION:** Functioning as intended.

## WATER HEATER:

**TYPE:** Gas.  
**SIZE:** 50 Gallons.  
**LOCATION:** Attic.  
**CONDITION:** Functioning as intended. Note: some loose attachments noted at hood flue at top of heater. Hood flue is currently in correct position. Recommend monitoring.

## FUEL SYSTEM:

**METER/TANK LOCATION-CONDITION:** Meter located at exterior, Functioning as intended.

# GROUNDS

This inspection is not intended to address or include any geological conditions or site stability information. For information concerning these conditions, a geologist or soils engineer should be consulted. Any reference to grade is limited to only areas around the exterior of the exposed areas of foundation or exterior walls. This inspection is visual in nature and does not attempt to determine drainage performance of the site or the condition of any underground piping, including municipal water and sewer service piping or septic systems. Decks and porches are often built close to the ground, where no viewing or access is possible. These areas as well as others too low to enter, or in some other manner not accessible, are excluded from the inspection and are not addressed in the report. We routinely recommend that inquiry be made with the seller about knowledge of any prior foundation or structural repairs.

## **DRIVEWAY:**

**CONDITION:** Concrete, Functioning as intended.

## **LANDSCAPING:**

**CONDITION:** Maintained.

## **GRADING:**

**SITE:** Pitch slope of soils away from foundation. Slope should fall away from the foundation at a minimum of 1/2 inch per foot and extend at least 10 feet away from the foundation. Recommend pitching soils at garage bay window.

## **DECKS:**

**TYPE:** Wood- Pressure treated wood support columns , Concrete floor and block walls at rear covered porch.

**CONDITION:** Deck and covered porch: Functioning as intended.

## **PATIO/PORCH COVER:**

**TYPE:** Open design, Concrete floor, Wood support columns.

**CONDITION:** Functioning as intended.



# HEATING - AIR CONDITIONING

The inspector is not equipped to inspect furnace heat exchangers for evidence of cracks or holes, as this can only be done by dismantling the unit. This is beyond the scope of this inspection. Some furnaces are designed in such a way that inspection is almost impossible. The inspector can not light pilot lights. Safety devices are not tested by the inspector.

NOTE: Asbestos materials have been commonly used in heating systems.

Determining the presence of asbestos can ONLY be performed by laboratory testing and is beyond the scope of this inspection. Thermostats are not checked for calibration or timed functions. Adequacy, efficiency or the even distribution of air throughout a building cannot be addressed by a visual inspection. Electronic air cleaners, humidifiers and de-humidifiers are beyond the scope of this inspection. Have these systems evaluated by a qualified individual. The inspector does not perform pressure tests on coolant systems, therefore no representation is made regarding coolant charge or line integrity. Subjective judgment of system capacity is not a part of the inspection. Normal service and maintenance is recommended on a yearly basis. Determining the condition of oil tanks, whether exposed or buried, is beyond the scope of this inspection. Leaking oil tanks represent an environmental hazard which is sometimes costly to remedy.

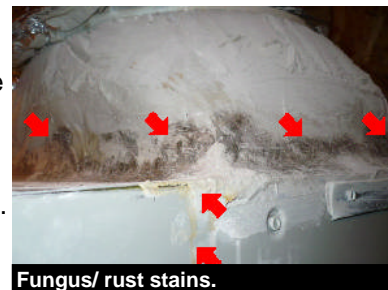
## HEATING SYSTEM DESCRIPTION:

<b>LOCATION OF PRIMARY UNIT:</b>	Exterior of house.
<b>SYSTEM TYPE:</b>	Forced Air, Gas pack.
<b>FUEL TYPE AND NOTES:</b>	Natural Gas.
<b>CAPACITY OF UNIT:</b>	2 1/2 ton capacity.
<b>APPROXIMATE AGE IN YEARS:</b>	original.
<b>SECONDARY HEATING SYSTEM:</b>	Attic, Heat pump, Split system, Electric, Original, 2 ton capacity.
<b>ADDITIONAL HEATING SYSTEMS:</b>	Attic, Heat pump, Split system, Electric, Original, 1 and 1/2 capacity.

## HEATING SYSTEM CONDITION:

**PRIMARY UNIT:** Gas pack exterior: Functioning as intended. Re-caulk metal flashing behind unit at wall. Gaps noted at sides.

**SECONDARY UNIT:** Attic: Left elevation side. Clean out noted at trap. Cover missing at clean out. A clean out located before the trap can disrupt the negative pressure necessary for proper flow of condensate. Recommend adding cover as needed. Note: inspector places insulation in clean out for temporary fix at time of inspection. Mold/ fungus noted around plenum at top of unit. Evidence suggest air leak and condensation forming around top of unit. Have licensed HVAC mechanical contractor evaluate the entire heating system and repair as needed.



## Scott Fuller Home Inspection Services

### **SECONDARY UNIT:**

Attic: Right elevation side. Caulking needed around hot and cold suction lines at side of unit to prevent loss of conditioned air. Recommend consulting with licensed HVAC mechanical contractor for corrective measures.



### **PUMP/BLOWER FAN:**

Functioning as intended for all three.

### **COMBUSTION**

#### **AIR:**

Functioning as intended for gas pack.

#### **VENTING:**

Functioning as intended for gas pack.

#### **AIR PLENUM:**

Functioning as intended for gas pack and right elevation unit. Evidence of air leaks at left elevation unit.

#### **AIR FILTERS:**

Functioning as intended, Suggest cleaning/changing filter.

#### **NORMAL**

#### **CONTROLS:**

Functioning as intended.

#### **WARM AIR**

#### **TEMPERATURE:**

Functioning as intended for upstairs and downstairs. Heat strips: Functioning as intended for two heat pumps upstairs.

## **AIR CONDITIONING:**

### **TYPE:**

Central, Electric, Gas pack system for downstairs. Heat Pump units for upstairs. Outside air temperature was below 65 degrees. Unable to test system at this time.

### **POWER**

#### **SOURCE:**

Electrical disconnect present.

### **COMPRESSOR**

#### **AGE IN YEARS:**

original.

#### **CAPACITY OF**

#### **UNIT:**

2 ton capacity for unit down and unit up. 1 1/2 ton capacity for upstairs unit.

### **SYSTEM**

#### **CONDITION:**

The air conditioning system was not inspected. The manufacturer states that operation of the air conditioning system at an outside ambient temperature less than 65 degrees fahrenheit could damage the unit. When it is above 65 degrees for more than a 12 hour period and the power has been on for that period of time, verify that the air conditioning system is operating prior to closing.

#### **SUCTION LINE:**

Functioning as intended.

#### **CONDENSATE**

#### **LINE:**

Functioning as intended.

**DUCTWORK:**

<b>TYPE:</b>	Flexible Round.
<b>DUCTS/AIR SUPPLY:</b>	Functioning as intended.

# ELECTRICAL SYSTEM

Any electrical repairs attempted by anyone other than a licensed electrician should be approached with caution. The power to the entire house should be turned off prior to beginning any repair efforts, no matter how trivial the repair may seem. Aluminum wiring requires periodic inspection and maintenance by a licensed electrician. Operation of time clock motors is not verified. Inoperative light fixtures often lack bulbs or have dead bulbs installed. Light bulbs are not changed during the inspection, due to time constraints. Smoke Alarms should be installed within 15 feet of all bedroom doors, and tested regularly.

## SERVICE:

### TYPE AND

### CONDITION:

Underground, Circuit breakers, 120/240 200 Amp, Main Disconnect present.

## ELECTRICAL PANELS:

### MAIN PANEL

### LOCATION AND

### NOTES:

Garage.

### Inspector Notes:

Circuit and wire sizing correct so far as visible. Note: ARC fault breakers appear to be missing for two bedrooms. ARC faults are observed for master, bedroom 2 and bedroom 4. 5 bedrooms are located in the home. Standard building practices are for all bedrooms to be ARC fault protected. Have a licensed electrician make further evaluation and corrections as needed.

## CONDUCTORS:

### ENTRANCE

### CABLES:

4/0 Aluminum Aluminum- OK.

### BRANCH

### WIRING:

Copper, Functioning as intended.

## SWITCHES, OUTLETS, LIGHTS:

### CONDITION:

Functioning as intended. Unidentified wall switches noted in areas. Investigate.

# INTERIOR

The condition of walls behind wall coverings, paneling and furnishings cannot be judged. Only the general condition of visible portions of floors is included in this inspection. As a general rule, cosmetic deficiencies are considered normal wear and tear and are not reported. Determining the source of odors or like conditions is not a part of this inspection. Floor covering damage or stains may be hidden by furniture. The condition of floors underlying floor coverings is not inspected. Determining the condition of insulated glass windows is not always possible due to temperature, weather and lighting conditions. Check with owners for further information. All fireplaces should be cleaned and inspected on a regular basis to make sure that no cracks have developed. Large fires in the firebox can overheat the firebox and flue liners, sometimes resulting in internal damage.

## DOORS:

### MAIN ENTRY

#### DOOR:

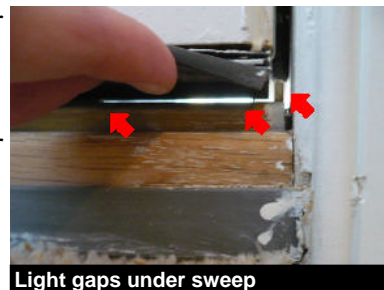
Main Entry Door: Functioning as intended.

### OTHER

#### EXTERIOR

#### DOORS:

Rear covered deck door: does not latch. Repair as needed. Master deck door and door to garage: light gaps under door at threshold. Sweep does not make full contact with threshold. Loss of conditioned air noted. Repair areas as needed.



### INTERIOR

#### DOORS:

Doors rub/stick/won't latch: front bedroom closet door and master closet door do not latch. Bonus room door binds. Repair doors as needed to function as intended.

## WINDOWS:

#### TYPE:

Vinyl, Double hung.

#### CONDITION:

Functioning as intended.

## INTERIOR WALLS:

### MATERIAL &

#### CONDITION:

Drywall, General condition functioning as intended.

## CEILINGS:

### TYPE &

#### CONDITION:

Drywall, Stains noted in master bedroom by bath vent fan. Unable to determine if active leakage exists. Make inquiry with the seller as to the history of leaks. Recommend investigating areas further and repair as needed.



**FLOORS:**

**TYPE &**

**CONDITION:**

Carpet, Wood, Tile. Loose subfloor observed in areas throughout home. Evidence suggest floor is not glued down or nailed per standard building practices. Unable to fully inspect due to floor covering. Recommend licensed general contractor investigate and secure subfloor to joist as intended.

**STAIRS & HANDRAILS:**

**CONDITION:**

Interior stairs serviceable, Stair handrail serviceable.

**SMOKE / FIRE DETECTOR:**

**COMMENTS:**

Functioning as intended.

# GARAGE - CARPORT

Notice: Determining the heat resistance rating of firewalls is beyond the scope of this inspection. Flammable materials should not be stored within closed garage areas.

**TYPE:**

**LOCATION:** Attached, Two car, Limited view of garage walls and floor due to personal stored items.

**FLOOR:**

**CONDITION:** Functioning as intended. Floor is not fully visible, due to stored items.

**GARAGE FIRE WALL:**

**CONDITION:** Functioning as intended.

**GARAGE DOOR(S):**

**CONDITION:** Functioning as intended.

# KITCHEN - APPLIANCES - LAUNDRY

Inspection of stand alone freezers and built-in ice makers are outside the scope of the inspection. No opinion is offered as to the adequacy of dishwasher operation. Ovens, self or continuous cleaning operations, cooking functions, clocks, timing devices, lights and thermostat accuracy are not tested during this inspection. Appliances are not moved during the inspection. Portable dishwashers are not inspected, as they require connection to facilitate testing.

## KITCHEN SINK:

### TYPE AND CONDITION:

Stainless Steel. Loose fittings under left and right sides of sink. Loose fittings can cause leaks to occur. See photo's. A licensed plumber should be called to make further evaluation and repairs as needed.



Loose fitting left side



Loose fitting right side

### HOT WATER TEMPERATURE TEST:

Recommend between 120-125 for safety.

## RANGE/COOK TOP AND OVEN:

### TYPE/ CONDITION:

Gas, Functioning as intended. Note: 6 PPM of carbon monoxide was detected while inspecting the stove.

## VENTILATION:

### TYPE AND CONDITION:

Microwave venting, Functioning as intended.

## REFRIGERATOR:

### TYPE AND CONDITION:

Functioning as intended.



**DISHWASHER:**

**CONDITION:** Functioning as intended.

**GARBAGE DISPOSAL:**

**CONDITION:** Functioning as intended.

**OTHER BUILT-INS:**

**MICROWAVE:** Functioning as intended. Broken light cover noted at microwave. Repair as needed.

**INTERIOR COMPONENTS:**

**COUNTERS AND CABINETS:**

Cabinets and counter tops functioning as intended.

Laundry appliances are not tested or moved during the inspection and the condition of any walls or flooring hidden by them cannot be judged. Drain lines and water supply valves serving washing machines are not operated. Water supply valves may be subject to leaking if turned.

**LAUNDRY:**

**LOCATION:**

1st Floor. Limited viewing behind washer and dryer due to height and design.

**CONDITION:**

Improper clearance noted at vent hood at exterior. Standard building practices are to have a minimum of 12" clearance from grade under a laundry vent hood for fire safety. Further evaluation and repairs will be needed by a licensed HVAC mechanical contractor. Laundry sink is provided, Functioning as intended.



# BATHROOMS

Shower pans are visually checked for leakage, but leaks often do not show except when the shower is in actual use. Determining whether shower pans, tub/shower surrounds are water tight is beyond the scope of this inspection. It is very important to maintain all grouting and caulking in the bath areas. Very minor imperfections can allow water to get into the wall or floor areas and cause damage. Proper ongoing maintenance will be required in the future.

## MASTER BATHROOM AREA:

**CONDITION OF SINK:**

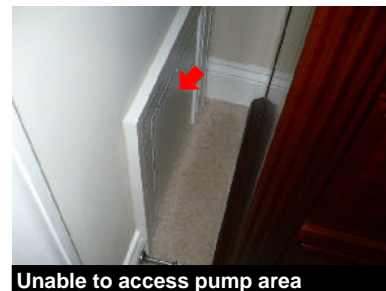
Functioning as intended. Note: limited viewing due to personal items.

**CONDITION OF TOILET:**

Functioning as intended.

**TUB/SHOWER PLUMBING FIXTURES:**

Functioning as intended. Note: unable to access pump area under tub due to personal items blocking access.



Unable to access pump area

**TUB/SHOWER AND WALLS:**

Leaks noted around shower glass enclosure at back of seat area. See photo. Repair as needed to prevent water from exiting the shower.



Leak at shower glass enclosure

**BATH VENTILATION:**

Functioning as intended. Note: water stains viewed. Investigate further.

## BONUS BATHROOM AREA:

**CONDITION OF SINK:**

Functioning as intended.

**CONDITION OF TOILET:**

Functioning as intended. Note: improper clearance observed at toilet. Standard building practices are to have a minimum 15" clearance from the middle of the toilet tank to each side. Have a licensed plumber make proper repairs as needed.



Improper clearance at toilet

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**TUB/SHOWER  
PLUMBING**

**FIXTURES:** Functioning as intended.

**TUB/SHOWER  
AND WALLS:** Functioning as intended.

**BATH  
VENTILATION:** Functioning as intended.

**HALL BATHROOM UPSTAIRS AREA:**

**CONDITION OF  
SINK:**

Loose fittings noted under right sink. Loose fittings can cause leaks to occur. A licensed plumber should be called to make further evaluation and repairs as needed.



**CONDITION OF  
TOILET:**

Functioning as intended.

**TUB/SHOWER  
PLUMBING**

**FIXTURES:** Functioning as intended.

**TUB/SHOWER  
AND WALLS:** Functioning as intended.

**BATH  
VENTILATION:** Functioning as intended.

**HALL BATHROOM DOWNSTAIRS AREA:**

**CONDITION OF  
SINK:**

Functioning as intended.

**CONDITION OF  
TOILET:**

Functioning as intended.

**TUB/SHOWER  
PLUMBING**

**FIXTURES:** Functioning as intended.

**TUB/SHOWER  
AND WALLS:** Functioning as intended.

**BATH  
VENTILATION:** Functioning as intended.