

January 9, 2009

Re:

Garner, NC 27529

Dear Mr. and Mrs.:

At your request, and in your presence, a visual inspection of the above referenced property was conducted on January 8, 2009. This inspection report reflects the visual conditions of the property at the time of the inspection only. Hidden or concealed defects cannot be included in this report. No warranty is either expressed or implied. This report is not an insurance policy, nor a warranty service.

An earnest effort was made on your behalf to discover all visible defects, however, in the event of an oversight, maximum liability must be limited to the fee paid. The following is an opinion report, expressed as a result of the inspection. Please take time to review limitations contained in the inspection agreement.

REPORT SUMMARY

This summary is not the entire report. The complete report may contain additional information of concern to the client. It is recommended that the client read the complete report.

Overall, the home was constructed in a workmanlike manner, consistent with the local building trades and codes in effect at the time of construction, and has average maintenance over the years. However in accordance with prevailing local real estate purchase agreements, the following items should be addressed:

WALLS AND TRIM:

1. The exterior surfaces were observed while walking around the exterior of the home. The siding was found to be in adequate condition except as noted below:

Around home: caulking needed at siding butt joints to prevent water entry.

Front Elevation: Building paper, metal lath, and plywood exposed at stone wall front elevation. Areas exposed at vertical trim boards, above foundation vents, around window, and right of window at wall. Standard building practices for the application of stone are to cover the area behind the stone with a cementitious coating to prevent areas where wind driven rain entry could occur. Building paper, exposed lath, or wall sheathing should not be exposed. Recommend

consulting with licensed general contractor regarding exposed areas and what corrective measures are needed. Caulking/ sealing needed at siding adjacent to porch surface to prevent water entry (see photo).

Right Elevation: Caulking needed around telephone/ cable entrance wires to prevent water entry.

Left Elevation: Hair line crack in foundation wall by front foundation vent. Evidence indicates some settling. Recommend sealing crack to prevent water entry which could freeze, expand, and cause crack to enlarge. Recommend consulting with licensed general contractor regarding crack and what corrective measures are needed.

This list is only to be meant as a general guideline to help pinpoint areas repair. It is not meant to be every area of damage. A qualified repair contractor should survey the entire structure and repair/replace as needed.

FOUNDATION VENTS:

2. A 6" ground clearance is recommended below foundation vents, Recommend adding vent well to all vents that do not have a 6" ground clearance. Vent wells hold the soil back and allow for enough ground clearance in order for water not to enter the crawl space (vent wells needed at front elevation right of porch).

BASEMENT/CRAWL SPACE:

3. Poor end bearing is found: poor bearing of girders on three piers observed. Poor bearing at two piers by crawl space door and poor bearing near front porch area. Girder spans over pier without bearing. See photos. Plumbing pipes in area are passing over the top of girder. Recommend investigating girder further for areas cut or notched where plumbing pipes pass directly over top. Recommend consulting with licensed general contractor regarding lack of bearing on column and what corrective measures are needed.

4. Floor joist is cut around plumbing pipe under powder bathroom. Improper support noted under bathroom. See photo. Floor joist is not support by hanger at rear of crawl space right side of deck as facing rear of home (see photo for location). Recommend consulting with licensed general contractor regarding cut floor joist and lack of support at hanger and what corrective measures are needed.

ATTIC AND INSULATION:

5. Split rafter noted by air handler and hot water heater. Split travels through rafter. A split/ damaged rafter can reduce the load capabilities of the rafter. Recommend consulting with licensed general contractor regarding damaged rafter and what corrective measures are needed.

Light gaps observed at bottom left side of left elevation window (see photo). Potential for wind driven rain entry. Recommend sealing as needed.

Light gaps observed at step flashing at right side of deck shed roof as facing rear of home (see photo). Evidence indicates flashing is not installed as intended. Potential for wind driven rain possible. Recommend consulting with licensed general contractor or roofer regarding flashing and what corrective measures are needed.

6. Attic, Fallen insulation noted: at knee wall by bonus dormers. Repair as needed.

ROOF:

7. Raised Shingles observed: Front elevation: raised shingle at front left gable- see photo. Rear Elevation: raised shingle noted left of covered porch - see photo for location. Recommend roofing contractor secure all raised shingles in order to prevent wind driven rain from entering and possibly damaging roof decking or leaking inside the home. Torn shingles noted: gable edge at dining room. A licensed roofing contractor should be called to make further evaluation and repairs as needed.

EXPOSED FLASHINGS:

8. The potential for water entry is present: raised flashing at valley at garage and dining room. Void at flashing at left water table at dining room gable, exposed wood observed- see photo. Improperly installed flashing at right dormer against fascia and roof at garage. Flashing is installed on exterior of wood rather than behind framing. Potential for water entry behind flashing. Raised flashing at bath vent fan hood at right elevation. Secure as needed to prevent water entry. Loose/ raised flashing at right side of covered deck against side of house. Potential for wind driven rain entry. A licensed roofing contractor should be called to make further evaluation and repairs as needed.

EXTERIOR STAIRS/STOOPS:

9. Cracks in mortar noted at steps. Evidence indicates settling of steps. Re-point cracks so as not to cause spalling during cold weather. Efflorescence and fungus noted at brick indicated periodic moisture. Repair steps as needed.

HEATING SYSTEM CONDITION:

10. Attic: Air leaks around return side of unit. Unfiltered air observed being pulled into unit at return. Taping needed at unit. Have licensed HVAC mechanical contractor evaluate the heating system.

KITCHEN SINK:

11. Leak noted at base of faucet handle- see photo for location. A licensed plumber should be called to make further evaluation and repairs as needed.

MASTER BATHROOM AREA:

12. Right sink: Inoperable overflow at sink. A licensed plumber should be called to make further evaluation and repairs as needed.

13. Caulking and/or re-grouting is needed to prevent water intrusion at tile against top of tub and at shower knee wall area adjacent to glass and shower area adjacent to floor and walls. Caulking needed at glass enclosure at joint areas (see photo's)

Each of these items will likely require further evaluation and repair by licensed tradespeople. Obtain competitive estimates for these items. Other minor items are also noted in the following report and should receive eventual attention, but none of them affect the habitability of the house and their correction is typically considered the responsibility of the purchaser. The majority are the result of normal wear and tear.

Thank you for selecting our firm to do your pre-purchase home inspection. If you have any questions regarding the inspection report or the home, please feel free to call us.

Sincerely,

A handwritten signature in cursive script that reads "Scott Fuller".

SCOTT FULLER
Chief Inspector
NCHILB Lic # 1972
919-524-5987
enclosure

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INSPECTION CONDITIONS

CLIENT & SITE INFORMATION:

DATE OF INSPECTION: January 8, 2009.
TIME OF INSPECTION: 1:00 P.M.
CLIENT PHONE #:
CLIENT FAX #:
INSPECTION SITE CITY/STATE/ZIP: Garner, NC 27529.

CLIMATIC CONDITIONS:

WEATHER: Overcast, Rain, Partly Cloudy.
SOIL CONDITIONS: Wet.
APPROXIMATE OUTSIDE TEMPERATURE in F: 40-50.

BUILDING CHARACTERISTICS:

ESTIMATED AGE OF HOUSE: 1 Year.
BUILDING TYPE: 1 family.
STORIES: 1
SPACE BELOW GRADE: Crawl space.

UTILITY SERVICES:

WATER SOURCE: Public.
SEWAGE DISPOSAL: Public.
UTILITIES STATUS: All utilities on.

OTHER INFORMATION:

HOUSE OCCUPIED? Yes.
CLIENT PRESENT: Yes.
PEOPLE PRESENT: Homeowner.
COMMENTS: Sprinkler system was not inspected.

PAYMENT INFORMATION:

PAID BY:

REPORT LIMITATIONS

This report is intended only as a general guide to help the client make his own evaluation of the overall condition of the home, and is not intended to reflect the value of the premises, nor make any representation as to the advisability of purchase. The report expresses the personal opinions of the inspector, based upon his visual impressions of the conditions that existed at the time of the inspection only. The inspection and report are not intended to be technically exhaustive, or to imply that every component was inspected, or that every possible defect was discovered. No disassembly of equipment, opening of walls, moving of furniture, appliances or stored items, or excavation was performed. All components and conditions which by the nature of their location are concealed, camouflaged or difficult to inspect are excluded from the report.

Systems and conditions which are not within the scope of the building inspection include, but are not limited to: formaldehyde, lead paint, asbestos, toxic or flammable materials, and other environmental hazards; pest infestation, playground equipment, efficiency measurement of insulation or heating and cooling equipment, internal or underground drainage or plumbing, any systems which are shut down or otherwise secured; water wells (water quality and quantity) zoning ordinances; intercoms; security systems; heat sensors; cosmetics or building code conformity. Any general comments about these systems and conditions are informational only and do not represent an inspection.

The inspection report should not be construed as a compliance inspection of any governmental or non governmental codes or regulations. The report is not intended to be a warranty or guarantee of the present or future adequacy or performance of the structure, its systems, or their component parts. This report does not constitute any express or implied warranty of merchantability or fitness for use regarding the condition of the property and it should not be relied upon as such. Any opinions expressed regarding adequacy, capacity, or expected life of components are general estimates based on information about similar components and occasional wide variations are to be expected between such estimates and actual experience.

We certify that our inspectors have no interest, present or contemplated, in this property or its improvement and no involvement with tradespeople or benefits derived from any sales or improvements. To the best of our knowledge and belief, all statements and information in this report are true and correct.

Should any disagreement or dispute arise as a result of this inspection or report, it shall be decided by arbitration and shall be submitted for binding, non-appealable arbitration to the American Arbitration Association in accordance with its Construction Industry Arbitration Rules then obtaining, unless the parties mutually agree otherwise. In the event of a claim, the Client will allow the Inspection Company to inspect the claim prior to any repairs or waive the right to make the claim. Client agrees not to disturb or repair or have repaired anything which may constitute evidence relating to the complaint, except in the case of an emergency.

EXTERIOR - FOUNDATION - BASEMENT

Areas hidden from view by finished walls or stored items can not be judged and are not a part of this inspection. Minor cracks are typical in many foundations and most do not represent a structural problem. If major cracks are present along with bowing, we routinely recommend further evaluation be made by a qualified structural engineer. All exterior grades should allow for surface and roof water to flow away from the foundation. All concrete floor slabs experience some degree of cracking due to shrinkage in the drying process. In most instances floor coverings prevent recognition of cracks or settlement in all but the most severe cases. Where carpeting and other floor coverings are installed, the materials and condition of the flooring underneath cannot be determined.

WALLS AND TRIM:

MATERIAL:

Stone, Fiber Cement Siding.

CONDITION:

The exterior surfaces were observed while walking around the exterior of the home. The siding was found to be in adequate condition except as noted below:

Around home: caulking needed at siding butt joints to prevent water entry.

Front Elevation: Building paper, metal lath, and plywood exposed at stone wall front elevation.

Areas exposed at vertical trim boards, above foundation vents, around window, and right of window at wall. Standard building practices for the application of stone are to cover the area behind the stone with a cementitious coating to prevent areas where wind driven rain entry could occur. Building paper, exposed lath, or wall sheathing should not be exposed. Recommend consulting with licensed general contractor regarding exposed areas and what corrective measures are needed. Recommend painting under side of trim at porch post to prevent water wicking up into trim which could cause rotting. Caulking/ sealing needed at siding adjacent to porch surface to prevent water entry (see photo).



Right Elevation: Caulking needed around telephone/ cable entrance wires to prevent water entry.

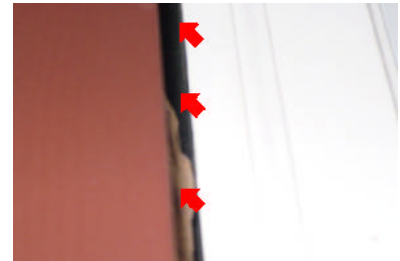
Left Elevation: Hair line crack in foundation wall by front foundation vent. Evidence indicates some settling. Recommend sealing crack to prevent water entry which could freeze, expand, and cause crack to enlarge. Recommend consulting with licensed general contractor regarding crack and what corrective measures are needed.

This list is only to be meant as a general guideline to help pinpoint areas repair. It is not meant to be every area of damage. A qualified repair contractor should survey the entire structure and repair/replace as needed.

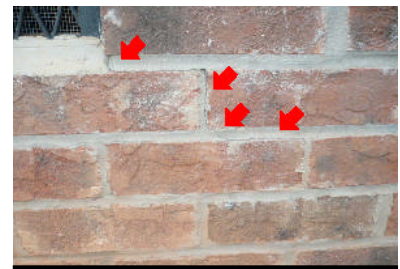




Exposed wood and areas at stone



Exposed areas at window and stone



Hair line crack at foundation wall



Caulking needed at siding and porch

FOUNDATION VENTS:

A 6" ground clearance is recommended below foundation vents, Recommend adding vent well to all vents that do not have a 6" ground clearance. Vent wells hold the soil back and allow for enough ground clearance in order for water not to enter the crawl space (vent wells needed at front elevation right of porch). Vents overall: Functioning as intended.

FIREPLACE AND CHIMNEY:

MATERIAL: pre-fabricated fireplace, Gas Logs, metal flue.

CONDITION: Functioning as intended.

BASEMENT/CRAWL SPACE:

ACCESSIBILITY: Crawl space is fully accessible, The crawl space was entered through the provided access door. The crawl space was observed using a standard flashlight and a screw driver was used to probe areas. The crawl space viewing was restricted or limited by framing members, insulation, and duct work.

CRAWL SPACE CONDITION: Remove wood debris and trash from the crawl space area. See floor joist below. Note: some deck bolts have loose nuts. Recommend tightening nuts on bolts as needed.

CRAWLSPACE WALLS - TYPE: Concrete block, Brick.

CONDITION: Functioning as intended.

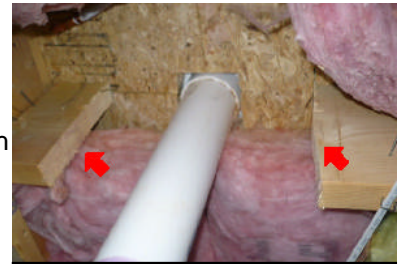
BEAMS: Wood, Poor end bearing is found: poor bearing of girders on three piers observed. Poor bearing at two piers by crawl space door and poor bearing near front porch area. Girder spans over pier without bearing. See photos. Plumbing pipes in area are passing over the top of girder. Recommend investigating girder further for areas cut or notched where plumbing pipes pass directly over top. Recommend consulting with licensed general contractor regarding lack of bearing on column and what corrective measures are needed.



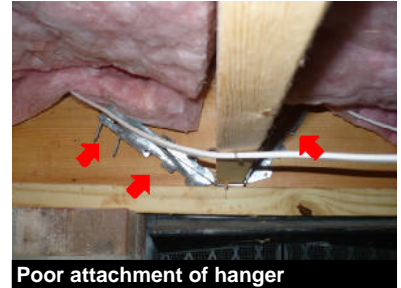
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FLOOR JOISTS:

Wood, Floor joist is cut around plumbing pipe under powder bathroom. See photo. Floor joist is not support by hanger at rear of crawl space right side of deck as facing rear of home (see photo for location). Recommend consulting with licensed general contractor regarding cut floor joist and lack of support at hanger and what corrective measures are needed.



Floor joist cut around plumbing pipe



Poor attachment of hanger

COLUMNS/ SUPPORTS:

Block, Brick, Functioning as intended.

ROOF SYSTEM

The foregoing is an opinion of the general quality and condition of the roofing material. The inspector cannot and does not offer an opinion or warranty as to whether the roof leaks or may be subject to future leakage. This report is issued in consideration of the foregoing disclaimer. The only way to determine whether a roof is absolutely water tight is to observe it during a prolonged rainfall. Many times, this situation is not present during the inspection.

ATTIC AND INSULATION:

ACCESSIBILITY AND CONDITION:

Conventional framing, Accessible at walk in area. Viewing was limited, to walk boards, The attic was inspected using a standard flashlight. Viewing was limited or restricted by framing members, duct work, insulation, and plumbing or mechanical systems.



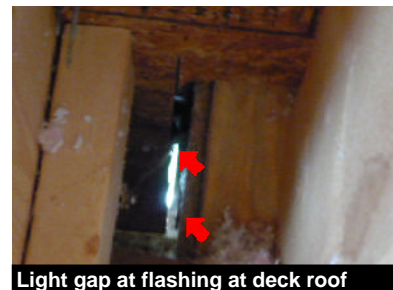
Split/ damaged rafter

Split rafter noted by air handler and hot water heater. Split travels through rafter. A split/ damaged rafter can reduce the load capabilities of the rafter. Recommend consulting with licensed general contractor regarding damaged rafter and what corrective measures are needed.

Light gaps observed at bottom left side of left elevation window (see photo). Potential for wind driven rain entry. Recommend sealing as needed. Light gaps observed at step flashing at right side of deck shed roof as facing rear of home (see photo). Evidence indicates flashing is not installed as intended. Potential for wind driven rain possible. Note: see exterior flashing below in report for additional photo's. Recommend consulting with licensed general contractor or roofer regarding flashing and what corrective measures are needed.



Light gap at window



Light gap at flashing at deck roof

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INSULATION TYPE AND CONDITION:

Attic, Fiberglass- Blown, Fiberglass batts, Fallen insulation noted: at knee wall by bonus dormers. Repair as needed. Crawl, Batts, Functioning as intended.



Fallen insulation noted

ROOF:

STYLE:

Gable.

TYPE:

Asphalt Composition Shingles.

ROOF ACCESS:

Viewed from ground with binoculars, Viewed from roof edge on ladder, Viewed from window.

ROOF COVERING STATUS:

Raised Shingles observed: Front elevation: raised shingle at front left gable- see photo. Rear Elevation: raised shingle noted left of covered porch - see photo for location. Recommend roofing contractor secure all raised shingles in order to prevent wind driven rain from entering and possibly damaging roof decking or leaking inside the home. Torn shingles noted: gable edge at dining room. A licensed roofing contractor should be called to make further evaluation and repairs as needed.



Raised shingle

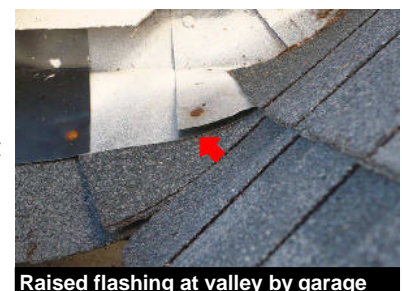


Raised shingle at rear

EXPOSED FLASHINGS:

TYPE AND CONDITION:

Metal, The potential for water entry is present: raised flashing at valley at garage and dining room. Void at flashing at left water table at dining room gable, exposed wood observed-see photo. Improperly installed flashing at right dormer against fascia and roof at garage. Flashing is installed on exterior of wood rather than behind framing. Potential for water entry behind flashing. Raised flashing at bath vent fan hood at right elevation. Secure as needed to prevent water entry. Loose/ raised flashing at right side of covered deck against side of house. Potential for wind driven rain entry. A licensed roofing contractor should be called to make further evaluation and repairs as needed.



Raised flashing at valley by garage



GUTTERS & DOWNSPOUTS:

TYPE:

Aluminum Gutters are present around the roof perimeter.

CONDITION:

Gutters are full of debris in areas. Gutters should be kept clean to dispose of water properly, in order to function as intended.

PLUMBING

Water quality or hazardous materials (lead) testing is available from local testing labs. All underground piping related to water supply, waste, or sprinkler use are excluded from this inspection. Leakage or corrosion in underground piping cannot be detected by a visual inspection. The temperature pressure relief valve, at the upper portion of the water heater, is a required safety valve which should be connected to a drain line of proper size terminating just above floor elevation. If no drain is located in the floor a catch pan should be installed with a drain extending to a safe location. The steam caused by a blow-off can cause scalding. Improper installations should be corrected.

MAIN LINE:

MATERIAL: Plastic potable water supply.
CONDITION: Functioning as intended.
WATER SHUT OFF LOCATION: Laundry room.

SUPPLY LINES:

MATERIAL: Readily visible piping is plastic with metal fittings.
CONDITION: Functioning as intended.

WASTE LINES:

MATERIAL: PVC white plastic.
CONDITION: Functioning as intended.

HOSE FAUCETS:

OPERATION: Functioning as intended.

WATER HEATER:

TYPE: Gas.
SIZE: 50 Gallons.
LOCATION: Attic.
CONDITION: Functioning as intended. Rust colored water coming from hot water heater. Recommend flushing hot water tank.

FUEL SYSTEM:

METER/TANK LOCATION-CONDITION: Meter located at exterior, Functioning as intended.

GROUNDS

This inspection is not intended to address or include any geological conditions or site stability information. For information concerning these conditions, a geologist or soils engineer should be consulted. Any reference to grade is limited to only areas around the exterior of the exposed areas of foundation or exterior walls. This inspection is visual in nature and does not attempt to determine drainage performance of the site or the condition of any underground piping, including municipal water and sewer service piping or septic systems. Decks and porches are often built close to the ground, where no viewing or access is possible. These areas as well as others too low to enter, or in some other manner not accessible, are excluded from the inspection and are not addressed in the report. We routinely recommend that inquiry be made with the seller about knowledge of any prior foundation or structural repairs.

DRIVEWAY:

CONDITION: Concrete, Functioning as intended.

SIDEWALKS:

TYPE: Concrete.

CONDITION: Functioning as intended.

LANDSCAPING:

CONDITION: Maintained. Recommend 6" ground clearance at siding. 12" clearance is recommended around structure.

GRADING:

SITE: Gentle slope.

PATIO:

TYPE: Brick.

CONDITION: Functioning as intended.

DECKS:

TYPE: Wood, Pressure treated wood support columns.

CONDITION: Functioning as intended.

PATIO/PORCH COVER:

TYPE: Open design, Concrete floor.

CONDITION: Hair line crack noted at front porch slab. Porch overall: Functioning as intended. Recommend sealing crack to prevent water entry.

EXTERIOR STAIRS/STOOPS:

TYPE: Brick.

CONDITION: Cracks in mortar noted at steps. Evidence indicates settling of steps. Re-point cracks so as not to cause spalling during cold weather. Efflorescence and fungus noted at brick indicated periodic moisture. Repair steps as needed.

FENCES & GATES:

TYPE: Wood.

CONDITION: Functioning as intended.

HEATING - AIR CONDITIONING

The inspector is not equipped to inspect furnace heat exchangers for evidence of cracks or holes, as this can only be done by dismantling the unit. This is beyond the scope of this inspection. Some furnaces are designed in such a way that inspection is almost impossible. The inspector can not light pilot lights. Safety devices are not tested by the inspector.

NOTE: Asbestos materials have been commonly used in heating systems.

Determining the presence of asbestos can ONLY be performed by laboratory testing and is beyond the scope of this inspection. Thermostats are not checked for calibration or timed functions. Adequacy, efficiency or the even distribution of air throughout a building cannot be addressed by a visual inspection. Electronic air cleaners, humidifiers and de-humidifiers are beyond the scope of this inspection. Have these systems evaluated by a qualified individual. The inspector does not perform pressure tests on coolant systems, therefore no representation is made regarding coolant charge or line integrity. Subjective judgment of system capacity is not a part of the inspection. Normal service and maintenance is recommended on a yearly basis. Determining the condition of oil tanks, whether exposed or buried, is beyond the scope of this inspection. Leaking oil tanks represent an environmental hazard which is sometimes costly to remedy.

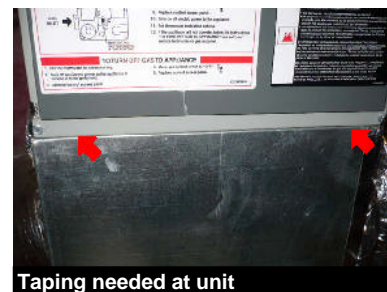
HEATING SYSTEM DESCRIPTION:

LOCATION OF PRIMARY UNIT:	Exterior of house.
SYSTEM TYPE:	Forced Air, Gas pack.
FUEL TYPE AND NOTES:	Natural Gas.
CAPACITY OF UNIT:	2 1/2 ton capacity.
APPROXIMATE AGE IN YEARS:	original.
SECONDARY HEATING SYSTEM:	Attic, Forced Air, Split system, Original, Fuel type/ Gas, 2 ton capacity.

HEATING SYSTEM CONDITION:

PRIMARY UNIT: Exterior: Comprehensive evaluation of the heat exchanger and combustion compartment are excluded from this inspection due to visibility and design limitations of the furnace. If you have concerns - recommend having licensed HVAC dealer conduct specialized testing in order to give comprehensive evaluation. Re-caulking needed at metal flashing behind unit at side of flashing. Unit overall: Functioning as intended.

SECONDARY UNIT: Attic: Comprehensive evaluation of the heat exchanger and combustion compartment are excluded from this inspection due to visibility and design limitations of the furnace. If you have concerns - recommend having licensed HVAC dealer conduct specialized testing in order to give comprehensive evaluation. Air leaks around return side of unit. Unfiltered air observed being pulled into unit at return. Taping needed at unit. Have licensed HVAC mechanical contractor evaluate the heating system.



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PUMP/BLOWER

FAN: Functioning as intended.

COMBUSTION

AIR: Functioning as intended.

VENTING: Functioning as intended.

AIR PLENUM: Air leaks noted- Sealing is recommended at attic unit.

AIR FILTERS: Functioning as intended.

NORMAL

CONTROLS: Multiple thermostats are employed, Functioning as intended.

WARM AIR

TEMPERATURE: Functioning as intended for upstairs and downstairs.

AIR CONDITIONING:

TYPE: Central, Electric, Recommend servicing system and checking Freon refrigerant level. Split system. Outside air temperature was below 65 degrees. Unable to test system at this time.

POWER

SOURCE: Electrical disconnect present.

COMPRESSOR

AGE IN YEARS: original.

CAPACITY OF

UNIT: 2 1/2 Ton capacity, 2 ton capacity.

SYSTEM

CONDITION: The air conditioning system was not inspected. The manufacturer states that operation of the air conditioning system at an outside ambient temperature less than 65 degrees fahrenheit could damage the unit. When it is above 65 degrees for more than a 12 hour period and the power has been on for that period of time, verify that the air conditioning system is operating prior to closing.

SUCTION LINE: Functioning as intended.

CONDENSATE LINE: Functioning as intended.

DUCTWORK:

TYPE: Flexible Round.

DUCTS/AIR

SUPPLY: Functioning as intended.

AUXILIARY EQUIPMENT:

WHOLE HOUSE

ATTIC FAN: Attic fan observed. Unable to reach control box to test fan operation. Temperature in attic too cold for fan to turn on. Unable to fully inspect.

ELECTRICAL SYSTEM

Any electrical repairs attempted by anyone other than a licensed electrician should be approached with caution. The power to the entire house should be turned off prior to beginning any repair efforts, no matter how trivial the repair may seem. Aluminum wiring requires periodic inspection and maintenance by a licensed electrician. Operation of time clock motors is not verified. Inoperative light fixtures often lack bulbs or have dead bulbs installed. Light bulbs are not changed during the inspection, due to time constraints. Smoke Alarms should be installed within 15 feet of all bedroom doors, and tested regularly.

SERVICE:

TYPE AND

CONDITION:

Underground, Circuit breakers, 120/240 200 Amp, Main Disconnect present.

ELECTRICAL PANELS:

MAIN PANEL

LOCATION AND

NOTES:

Garage.

Inspector Notes:

Circuit and wire sizing correct so far as visible.

CONDUCTORS:

ENTRANCE

CABLES:

4/0 Aluminum Aluminum- OK.

BRANCH

WIRING:

Copper, Functioning as intended.

SWITCHES, OUTLETS, LIGHTS:

CONDITION:

Functioning as intended. Inspector did not test the AFCI breakers at the request of the home owner.

INTERIOR

The condition of walls behind wall coverings, paneling and furnishings cannot be judged. Only the general condition of visible portions of floors is included in this inspection. As a general rule, cosmetic deficiencies are considered normal wear and tear and are not reported. Determining the source of odors or like conditions is not a part of this inspection. Floor covering damage or stains may be hidden by furniture. The condition of floors underlying floor coverings is not inspected. Determining the condition of insulated glass windows is not always possible due to temperature, weather and lighting conditions. Check with owners for further information. All fireplaces should be cleaned and inspected on a regular basis to make sure that no cracks have developed. Large fires in the firebox can overheat the firebox and flue liners, sometimes resulting in internal damage.

DOORS:

MAIN ENTRY

DOOR: Main Entry Door: Functioning as intended.

OTHER

EXTERIOR

DOORS: Rear deck door: door binds at frame. Recommend adjusting door as needed.
Garage service door: light gap under sweep at door. Sweep does not contact saddle securely. Potential for wind driven rain entry. Recommend adjusting saddle as needed.

INTERIOR

DOORS: Functioning as intended.

WINDOWS:

TYPE: Vinyl, Double hung.

CONDITION: Functioning as intended.

INTERIOR WALLS:

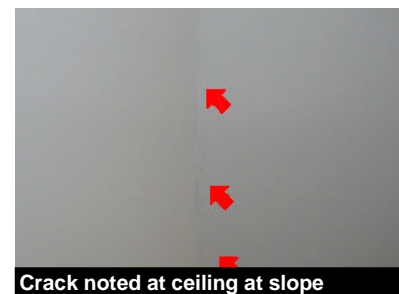
MATERIAL &

CONDITION: Drywall, General condition functioning as intended.

CEILINGS:

TYPE &

CONDITION: Drywall, cracks noted in ceiling second floor at ceiling slope and by dormer. Gaps noted around crown molding and ceiling.



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FLOORS:

TYPE &

CONDITION: Carpet, Wood, Tile, General condition functioning as intended.

STAIRS & HANDRAILS:

CONDITION: Interior stairs serviceable, Stair handrail serviceable.

SMOKE / FIRE DETECTOR:

COMMENTS: Functioning as intended.

GARAGE - CARPORT

Notice: Determining the heat resistance rating of firewalls is beyond the scope of this inspection. Flammable materials should not be stored within closed garage areas.

TYPE:

LOCATION: Attached, Two car, Limited view of garage walls and floor due to personal stored items.

FLOOR:

CONDITION: Functioning as intended. Floor is not fully visible, due to stored items.

GARAGE FIRE WALL:

CONDITION: Functioning as intended.

GARAGE DOOR(S):

CONDITION: Functioning as intended. Right garage door is noisy. Recommend lubricating door track and areas as needed for routine servicing.

KITCHEN - APPLIANCES - LAUNDRY

Inspection of stand alone freezers and built-in ice makers are outside the scope of the inspection. No opinion is offered as to the adequacy of dishwasher operation. Ovens, self or continuous cleaning operations, cooking functions, clocks, timing devices, lights and thermostat accuracy are not tested during this inspection. Appliances are not moved during the inspection. Portable dishwashers are not inspected, as they require connection to facilitate testing.

KITCHEN SINK:

TYPE AND CONDITION:

Stainless Steel. Leak noted at base of faucet handle- see photo for location. A licensed plumber should be called to make further evaluation and repairs as needed. Evidence of past leak at fittings. No leak detected at time of inspection.



Leak at faucet

HOT WATER TEMPERATURE TEST:

Recommend between 120-125 for safety.

RANGE/COOK TOP AND OVEN:

TYPE/ CONDITION:

Electric, Functioning as intended.

VENTILATION:

TYPE AND CONDITION:

Microwave venting, Functioning as intended.

REFRIGERATOR:

TYPE AND CONDITION:

Functioning as intended.

DISHWASHER:

CONDITION:

Functioning as intended. Door binds at cabinet- adjust as needed so as not to cause abnormal wear and tear.

GARBAGE DISPOSAL:

CONDITION:

Functioning as intended.

OTHER BUILT-INS:

MICROWAVE:

Functioning as intended.

INTERIOR COMPONENTS:

**COUNTERS AND
CABINETS:**

Cabinets and counter tops functioning as intended. Cabinet door binds right of microwave.

Laundry appliances are not tested or moved during the inspection and the condition of any walls or flooring hidden by them cannot be judged. Drain lines and water supply valves serving washing machines are not operated. Water supply valves may be subject to leaking if turned.

LAUNDRY:

LOCATION:

1st Floor.

CONDITION:

Dryer venting is provided, Functioning as intended.

BATHROOMS

Shower pans are visually checked for leakage, but leaks often do not show except when the shower is in actual use. Determining whether shower pans, tub/shower surrounds are water tight is beyond the scope of this inspection. It is very important to maintain all grouting and caulking in the bath areas. Very minor imperfections can allow water to get into the wall or floor areas and cause damage. Proper ongoing maintenance will be required in the future.

MASTER BATHROOM AREA:

CONDITION OF SINK:

Right sink: Inoperable overflow at sink. A licensed plumber should be called to make further evaluation and repairs as needed.

CONDITION OF TOILET:

Functioning as intended.

TUB/SHOWER PLUMBING FIXTURES:

Shower and whirl pool: Functioning as intended. Note: rust colored water and rust flakes observed in master tub. Recommend investigating further and inquiring with licensed plumbing if any corrective measures are needed. Note: unable to access motor area of whirl pool tub. Access area is caulked and painted to wall- damage is possible if removed.



TUB/SHOWER AND WALLS:

Caulking and/or re-grouting is needed to prevent water intrusion at tile against top of tub and at shower knee wall area adjacent to glass and shower area adjacent to floor and walls. Caulking needed at glass enclosure at joint areas (see photo's)





BATH VENTILATION: Functioning as intended.

HALL BATHROOM AREA:

CONDITION OF SINK: Functioning as intended. Evidence of past leak at right sink under shut off valves. No leak detected at time of inspection.

CONDITION OF TOILET: Functioning as intended.

TUB/SHOWER PLUMBING FIXTURES: Functioning as intended.

TUB/SHOWER AND WALLS: Functioning as intended.

BATH VENTILATION: Functioning as intended.

POWDER BATHROOM AREA:

CONDITION OF SINK: Functioning as intended.

CONDITION OF TOILET: Functioning as intended.

BATH VENTILATION: Functioning as intended.